



Our File: 2221-49408

May 25, 2022

City of Campbell River
Development Services Department
301 St. Ann's
Campbell River, BC
V9W 4C7

Attention: Meghan Norman, Senior Planner

### Minor Development Permit Application – 570 Old Petersen Road

On behalf of our client, Heather Clarke of Discovery Ridge Ventures, we are pleased to submit this application for an Environmental (Streamside) and Hazardous Conditions (Steep Slope) Development Permit (DP). This DP application is related to an active 25-lot subdivision, whereby the city granted an amended Preliminary Subdivision Review (PSR) on November 4, 2021. A copy of the PSR letter is included in the application submission. It should be noted that an application to amend / extend PLR was made in early April that included a request to increase the lot yield from 25 to 28 lots.

#### Location / Context

Shown below, the subject property is a hooked lot located between Park Forest Drive and the Elk River Timber (ERT) Road. There is a steep slope approximately 17 m high along the east side of the subdivision, and there is a ditch that flows in a west to east direction along the northern portion of the development. The proposed residential lots will be accessed from Park Forest Drive along Prentice Road. The proposed development is located is located on the eastern 3.28 ha side of the property and represents the fourth phase of the development. The subject lands are zoned R1-A and are designated "Neighbourhood" in the City's Official Community Plan (OCP). The subject lands are adjacent to a recently approved, RM-1 zoned single family subdivision to the north, and a vacant RM-1 zoned property to the south. The property is bound by the ERT to the east, and single-family homes to the west.

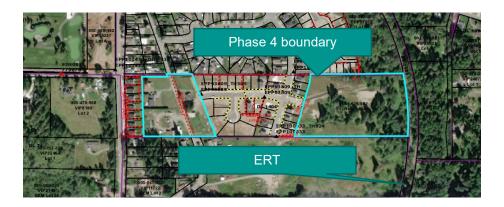


Figure 1: Subject Property

#### Proposed Development

The proposed subdivision consists of twenty-eight (28) lots as shown on the enclosed Proposed Plan of Subdivision. Shown in Figure #2 below, there is a "steep slope" on the east side of the development lands that will be cut and filled to achieve the final design surface. Shown in the enclosed grading plans, there will be a 10m wide bench separating the lower and upper slopes that will be graded slightly downhill, shown in the enclosed cross sections. The design also includes the construction of a stormwater retention pond that will be constructed on the neighbouring property to the south, near the toe of the slope.

#### Development Permit Areas

Shown in Figures 2-4 below, the subject area is located within two DP areas (Steep Slope and Streamside). To address Steep Slope DP requirements, this application includes a Geohazard Assessment, prepared by Base Geotechnical (dated March 11, 2022). The report contains a "steep slope" stability assessment for the natural embankment at the proposed residential subdivision, and provides geotechnical recommendations related to future construction activities that could impact the stability of the slope.



Figure 2: Hazardous Conditions (Steep Slope) DPA



Figure 3 Environmentally Sensitive Areas (Currently Published)



Figure 4: Environmentally Sensitive Areas (Unpublished)

The submitted Geohazard Report addresses the City's Steep Slope DP Guidelines and notes that the development is viable from a geotechnical perspective, provided that the recommendations in the report are carried out (i.e. maintaining a 10m geotechnical setback from the crest of slope for habitable structures, hydroseeding of the slope post disturbance, and implementation of water management activities, etc.,). Finally, the report concludes that the development is "safe for the use intended" from a slope stability perspective and includes a signed Landslide Assessment Assurance Statement.

#### Environmental Development Permit

Prior to the development of previous phases, an Environmental Assessment, prepared by Pacificus Biological Services Ltd., in 2015, which concluded that no watercourses associated with 570 Old Petersen Road were applicable under the previous Riparian Areas Regulation. Since this report was prepared, to support the development of Phase 4, the construction of a stormwater retention pond is proposed adjacent to the site within the eastern portion of 473 Old Petersen Road (Figure #5, below). As 473 Old Petersen Road was not subject to the original 2015 assessment, an updated assessment was prepared by Pacificus to identify any Riparian Area Protection Regulation (RAPR) applicable watercourses are present.

The assessment concludes the following:

• The area in and around the location of the proposed retention pond does not contain any watercourses applicable under the RAPR; as there is no surface connection between the subject

lands and Nunns Creek (although drainage from the development will contribute to the flow of Nunns Creek) (Figure #5)

- As detailed in the report, it is proposed that the retention pond be connected to the ERT Road ditch north of the property, and as no existing ditch line exists between 473 Old Petersen and the ERT Road Ditch (north), upgrades to the ditch are required.
- The proposed upgrades to the ERT Road ditch will serve to change the provincial RAPR status of the watercourses in the area once connection and drainage is established.
- Slope remediation will be outlined as per the Erosion and Sediment Control Plan submitted with
  this application, which includes environmental monitoring. Remediation will consist of a
  combination of hydroseeding and /or hand seeding of a native grass mix, as well as planting of
  suitable native vegetation as necessary. An itemized cost estimate for ESC measures, slope
  remediation and environmental monitoring have been included with this application.



Figure 5: Mapped watercourses

Thank you in advance for considering this application. Please contact the undersigned if additional information is required.

Sincerely, McElhanney Ltd.

Andy Gaylor, Planner

# CLIENT: DISCOVERY RIDGE VENTURES LTD.

DISCOVERY RIDGE - PHASE 4

CAMPBELL RIVER, BC

LEGAL: DISTRICT LOT 1404,

SAYWARD LAND DISTRICT, EXCEPT PLAN EPP68537,

SHOWN IN RED ON DD132225I;

& EXCEPT PL EPP82388

McElhanney Project No.: 221-49408

City Project No.: P1800104

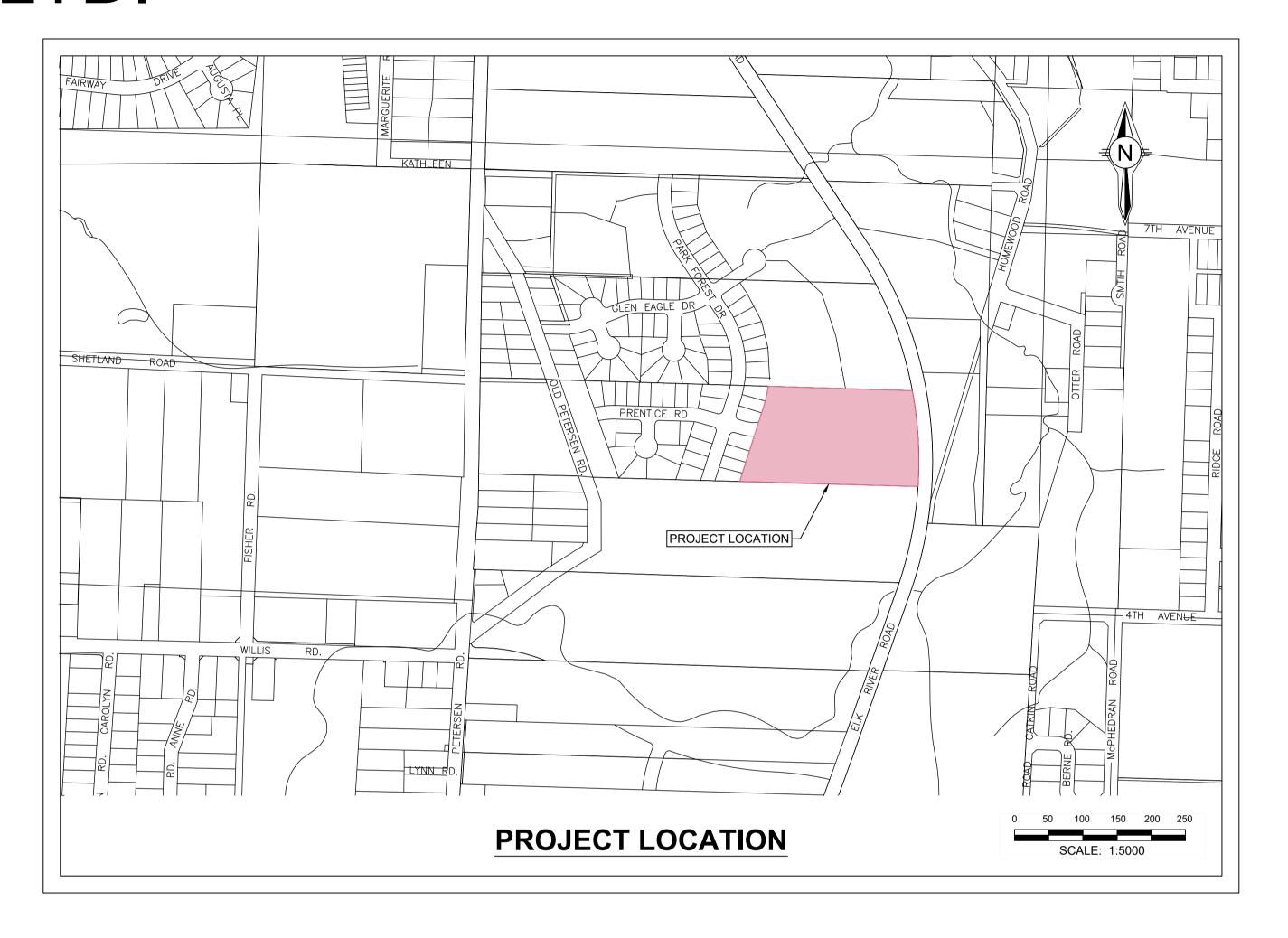
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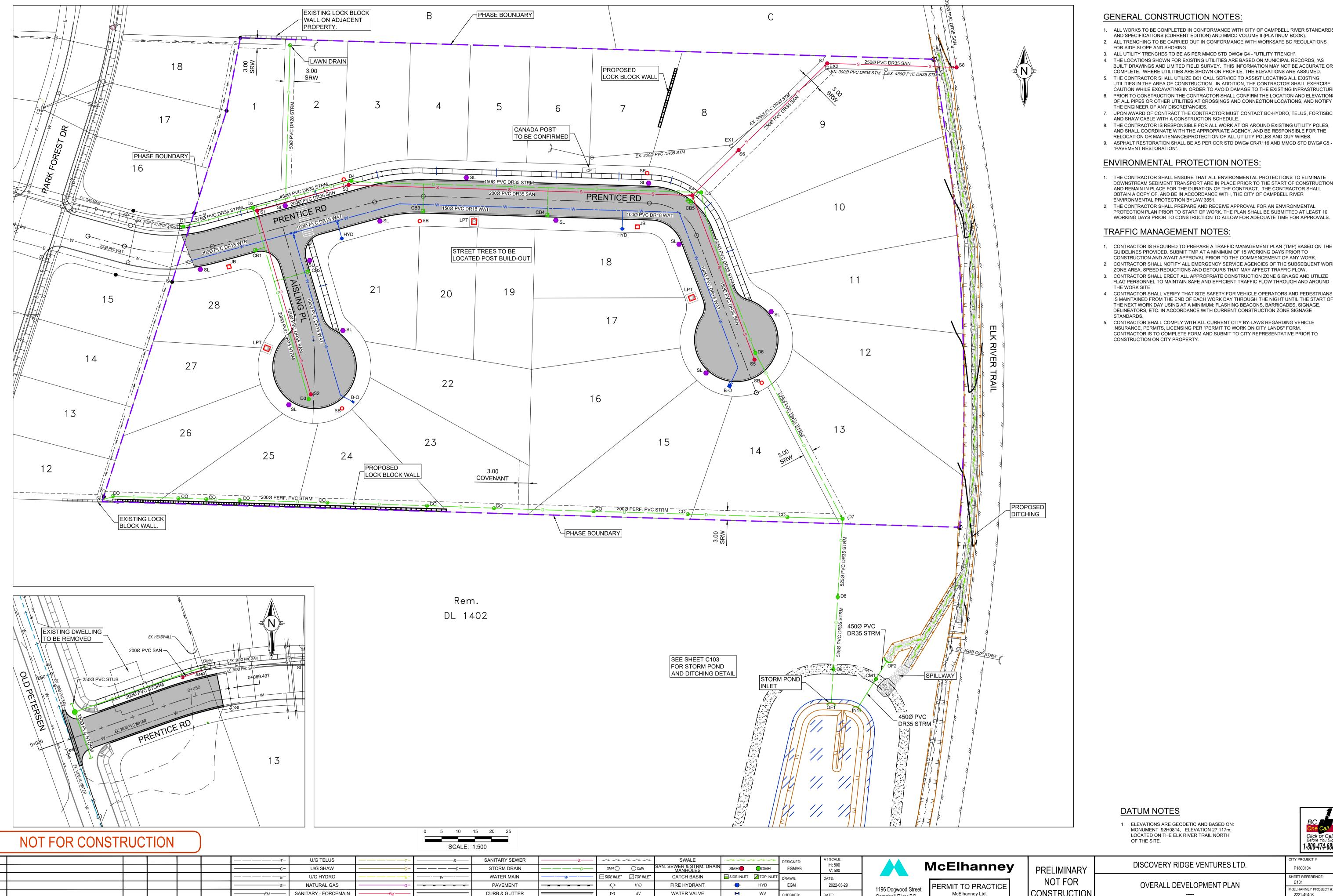
## McElhanney

1196 Dogwood Street Campbell River BC Canada V9W 3A2 T 250 287 7799 PERMIT TO PRACTICE
McElhanney Ltd.

PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC



REFERENCE	DRAWING TITLE		PAGE	REVISION
C101	OVERALL DEVELOPMENT PLAN		1	PA
C102	TOPOGRAPHIC & REMOVALS PLAN		2	PA
C103	DETENTION POND LANDSCAPING PLAN		3	PA
C104	LOT GRADING PLAN		4	PA
C105	ROADWORKS PLAN & PROFILE	PRENTICE ROAD	5	PA
C106	ROADWORKS PLAN & PROFILE	AISLING PLACE & PRENTICE RD CONNECTION	6	PA
C107	CURB RETURN & BULB DETAIL	TYPICAL SECTIONS	7	PA
C108	WATER WORKS PLAN & PROFILE	PRENTICE ROAD	8	PA
C109	WATER WORKS PLAN & PROFILE	AISLING PLACE	9	PA
C110	STORM/SANITARY PLAN & PROFILE	PRENTICE ROAD	10	PA
C111	STORM/SANITARY PLAN & PROFILE	AISLING PLACE	11	PA
C112	STORM/SANITARY PLAN & PROFILE	SRW & PRENTICE RD TIE-IN	12	PA
C113	LOCK BLOCK WALL	PLAN & PROFILE	13	PA
C114	STREET LIGHTING & 3RD PARTY UTILITIES		14	PA
C115	EROSION & SEDIMENT CONTROL PLAN		15	PA



SIDEWALK

STREET LIGHTS

LEGEND

**EXISTING** 

DESIGN

LAWN DRAIN

INSPECTION CHAMBER

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### **GENERAL CONSTRUCTION NOTES:**

- 1. ALL WORKS TO BE COMPLETED IN CONFORMANCE WITH CITY OF CAMPBELL RIVER STANDARDS AND SPECIFICATIONS (CURRENT EDITION) AND MMCD VOLUME II (PLATINUM BOOK).
- FOR SIDE SLOPE AND SHORING.
- 3. ALL UTILITY TRENCHES TO BE AS PER MMCD STD DWG# G4 "UTILITY TRENCH".
- 4. THE LOCATIONS SHOWN FOR EXISTING UTILITIES ARE BASED ON MUNICIPAL RECORDS, 'AS BUILT' DRAWINGS AND LIMITED FIELD SURVEY. THIS INFORMATION MAY NOT BE ACCURATE OR COMPLETE. WHERE UTILITIES ARE SHOWN ON PROFILE, THE ELEVATIONS ARE ASSUMED.
- 5. THE CONTRACTOR SHALL UTILIZE BC1 CALL SERVICE TO ASSIST LOCATING ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL EXERCISE
- CAUTION WHILE EXCAVATING IN ORDER TO AVOID DAMAGE TO THE EXISTING INFRASTRUCTURE 6. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATIONS
- THE ENGINEER OF ANY DISCREPANCIES. 7. UPON AWARD OF CONTRACT THE CONTRACTOR MUST CONTACT BC-HYDRO, TELUS, FORTISBC.
- AND SHAW CABLE WITH A CONSTRUCTION SCHEDULE. 8. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK AT OR AROUND EXISTING UTILITY POLES,
- AND SHALL COORDINATE WITH THE APPROPRIATE AGENCY, AND BE RESPONSIBLE FOR THE RELOCATION OR MAINTENANCE/PROTECTION OF ALL UTILITY POLES AND GUY WIRES.
- 9. ASPHALT RESTORATION SHALL BE AS PER CCR STD DWG# CR-R116 AND MMCD STD DWG# G5 -

### **ENVIRONMENTAL PROTECTION NOTES:**

- 1. THE CONTRACTOR SHALL ENSURE THAT ALL ENVIRONMENTAL PROTECTIONS TO ELIMINATE DOWNSTREAM SEDIMENT TRANSPORT ARE IN PLACE PRIOR TO THE START OF CONSTRUCTION AND REMAIN IN PLACE FOR THE DURATION OF THE CONTRACT. THE CONTRACTOR SHALL OBTAIN A COPY OF, AND BE IN ACCORDANCE WITH, THE CITY OF CAMPBELL RIVER
- 2. THE CONTRACTOR SHALL PREPARE AND RECEIVE APPROVAL FOR AN ENVIRONMENTAL PROTECTION PLAN PRIOR TO START OF WORK. THE PLAN SHALL BE SUBMITTED AT LEAST 10 WORKING DAYS PRIOR TO CONSTRUCTION TO ALLOW FOR ADEQUATE TIME FOR APPROVALS.

## TRAFFIC MANAGEMENT NOTES:

- 1. CONTRACTOR IS REQUIRED TO PREPARE A TRAFFIC MANAGEMENT PLAN (TMP) BASED ON THE GUIDELINES PROVIDED. SUBMIT TMP AT A MINIMUM OF 15 WORKING DAYS PRIOR TO CONSTRUCTION AND AWAIT APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK.
- 2. CONTRACTOR SHALL NOTIFY ALL EMERGENCY SERVICE AGENCIES OF THE SUBSEQUENT WORK
- ZONE AREA, SPEED REDUCTIONS AND DETOURS THAT MAY AFFECT TRAFFIC FLOW. 3. CONTRACTOR SHALL ERECT ALL APPROPRIATE CONSTRUCTION ZONE SIGNAGE AND UTILIZE
- FLAG PERSONNEL TO MAINTAIN SAFE AND EFFICIENT TRAFFIC FLOW THROUGH AND AROUND 4. CONTRACTOR SHALL VERIFY THAT SITE SAFETY FOR VEHICLE OPERATORS AND PEDESTRIANS
- IS MAINTAINED FROM THE END OF EACH WORK DAY THROUGH THE NIGHT UNTIL THE START OF THE NEXT WORK DAY USING AT A MINIMUM: FLASHING BEACONS, BARRICADES, SIGNAGE, DELINEATORS, ETC. IN ACCORDANCE WITH CURRENT CONSTRUCTION ZONE SIGNAGE
- 5. CONTRACTOR SHALL COMPLY WITH ALL CURRENT CITY BY-LAWS REGARDING VEHICLE INSURANCE, PERMITS, LICENSING PER "PERMIT TO WORK ON CITY LANDS" FORM. CONTRACTOR IS TO COMPLETE FORM AND SUBMIT TO CITY REPRESENTATIVE PRIOR TO

1. ELEVATIONS ARE GEODETIC AND BASED ON: MONUMENT 92H0814, ELEVATION 27.117m; LOCATED ON THE ELK RIVER TRAIL NORTH

CAMPBELL RIVER, BC



DISCOVERY RIDGE VENTURES LTD. OVERALL DEVELOPMENT PLAN CONSTRUCTION McElhanney Ltd. DISCOVERY RIDGE - PHASE 4 PERMIT NUMBER: 1003299

THIS DRAWING HAS NOT BEEN APPROVE

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Campbell River BC

Engineers and Geoscientists of BC

Canada V9W 3A2

T 250 287 7799

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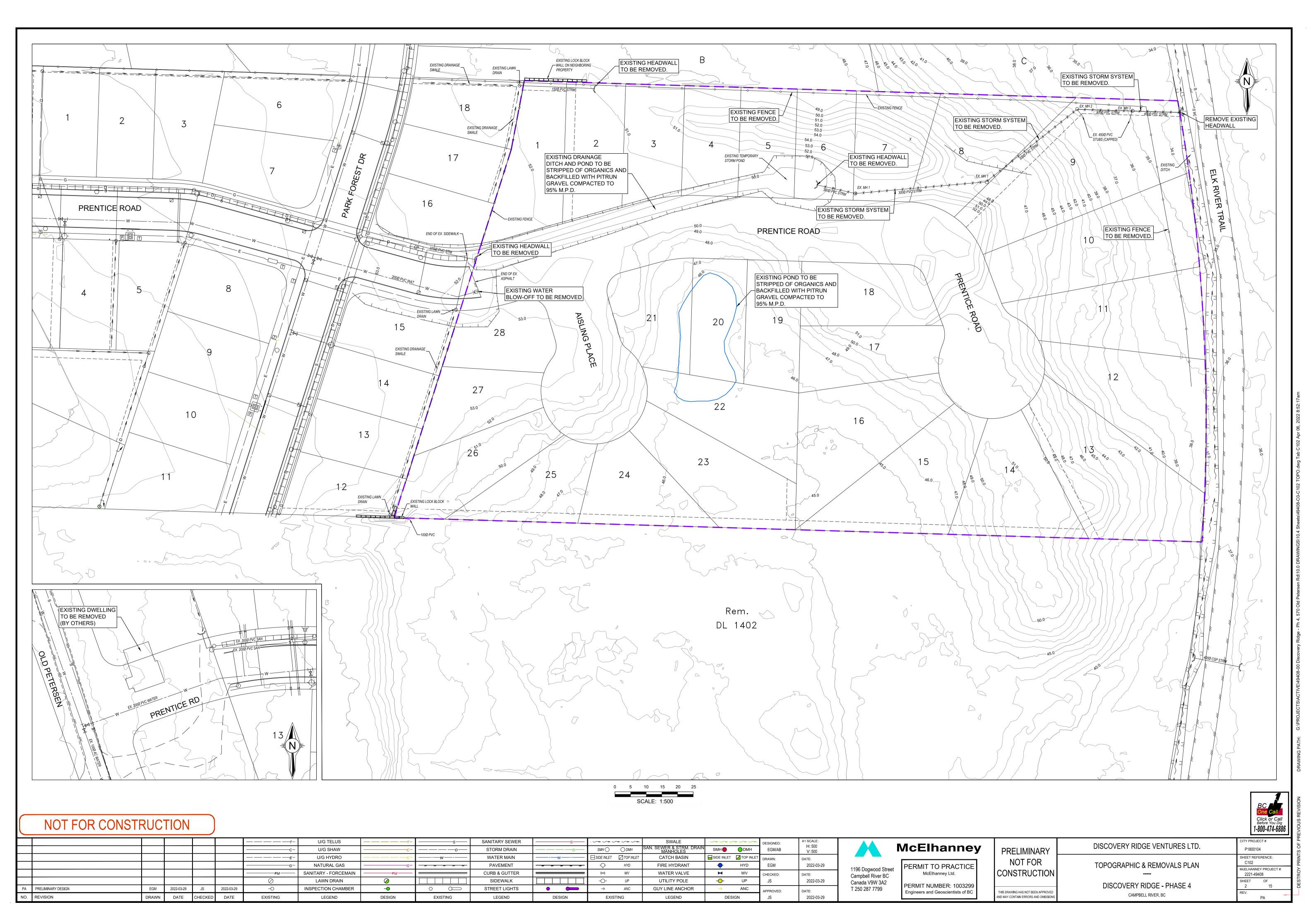
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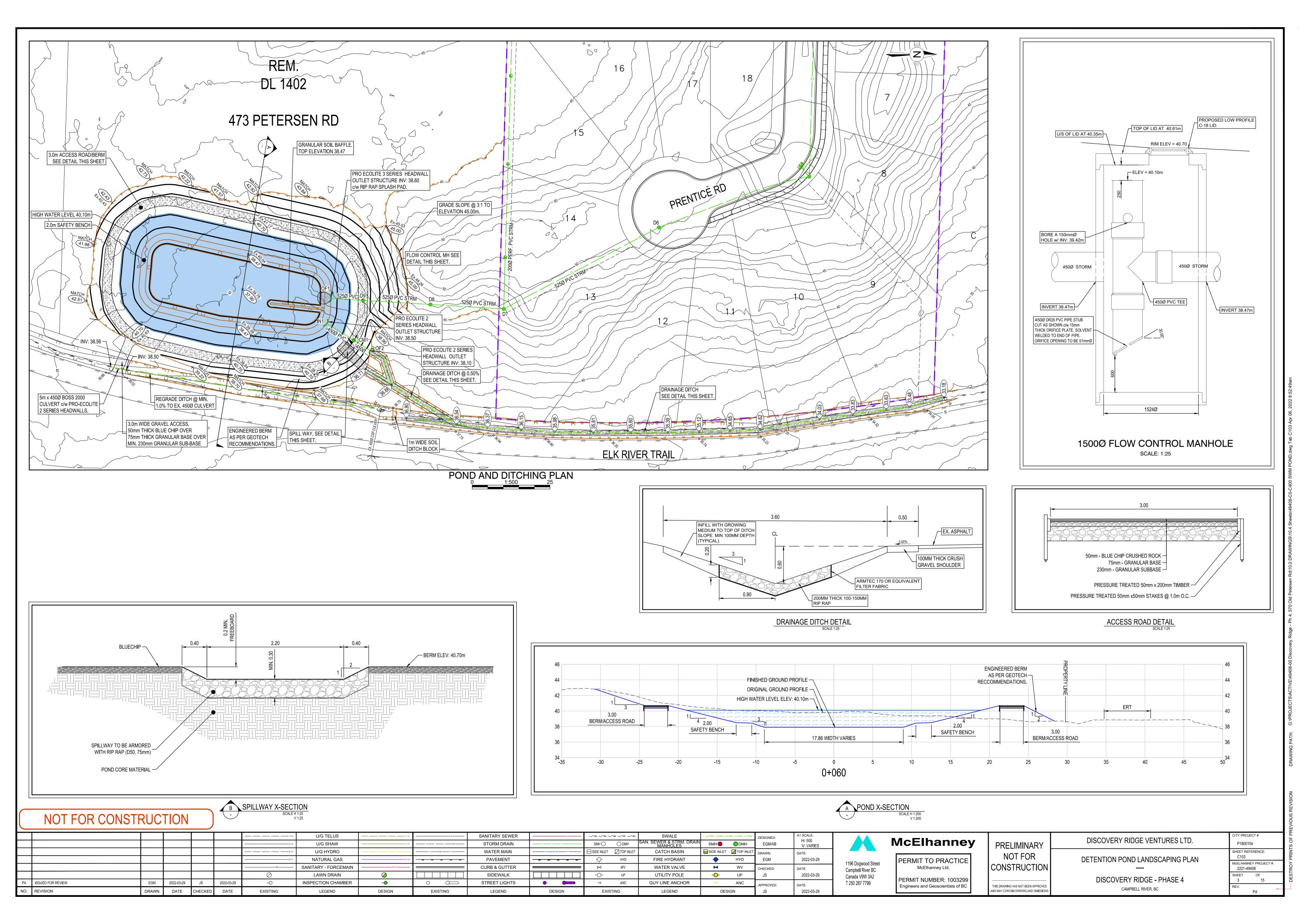
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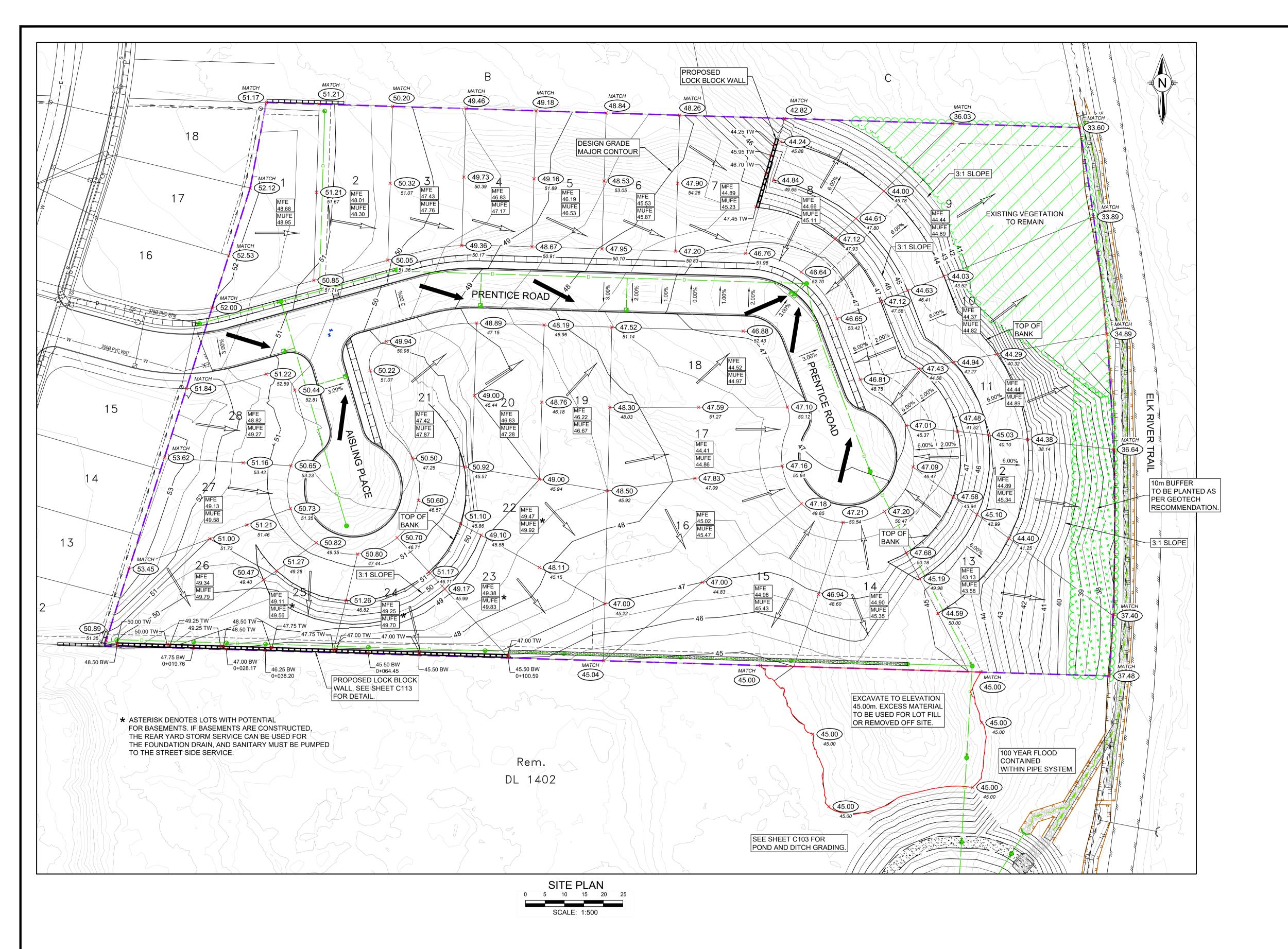
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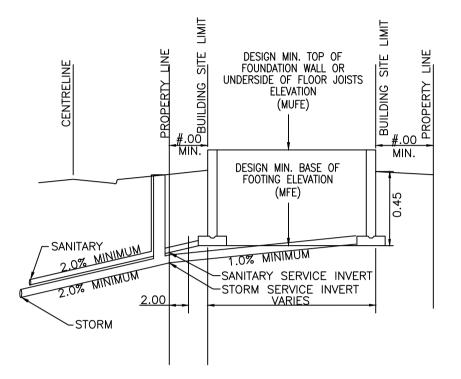






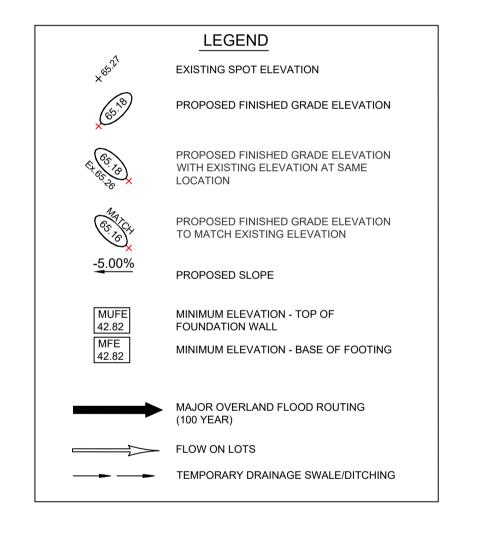
#### NOTES:

- 1.) CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR METHODOLOGY FOR FILL PLACEMENT ON LOTS.
- 2.) THE DESIGN "5 YEAR" MINIMUM UNDERSIDE OF FLOOR JOIST ELEVATIONS ARE NOT TO BE USED TO STRIKE SLAB OR JOIST ELEVATIONS. RATHER, ACTUAL "AS BUILT" STORM AND SANITARY SERVICE POINT ELEVATIONS MUST BE VERIFIED FROM RECORD CARDS IN CONJUNCTION WITH CITY BUILDING DIVISION (OR BY DIRECT EXCAVATION IN THE FIELD) PRIOR TO BUILDING CONSTRUCTION. DETAIL, THIS SHEET TO THEN BE USED TO DETERMINE MINIMUM UNDERSIDE OF FLOOR JOIST ELEVATIONS.



## 5 YEAR MIN. HABITABLE FLOOR CONFIGURATION DETAIL

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Campbell River BC Canada V9W 3A2

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PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC

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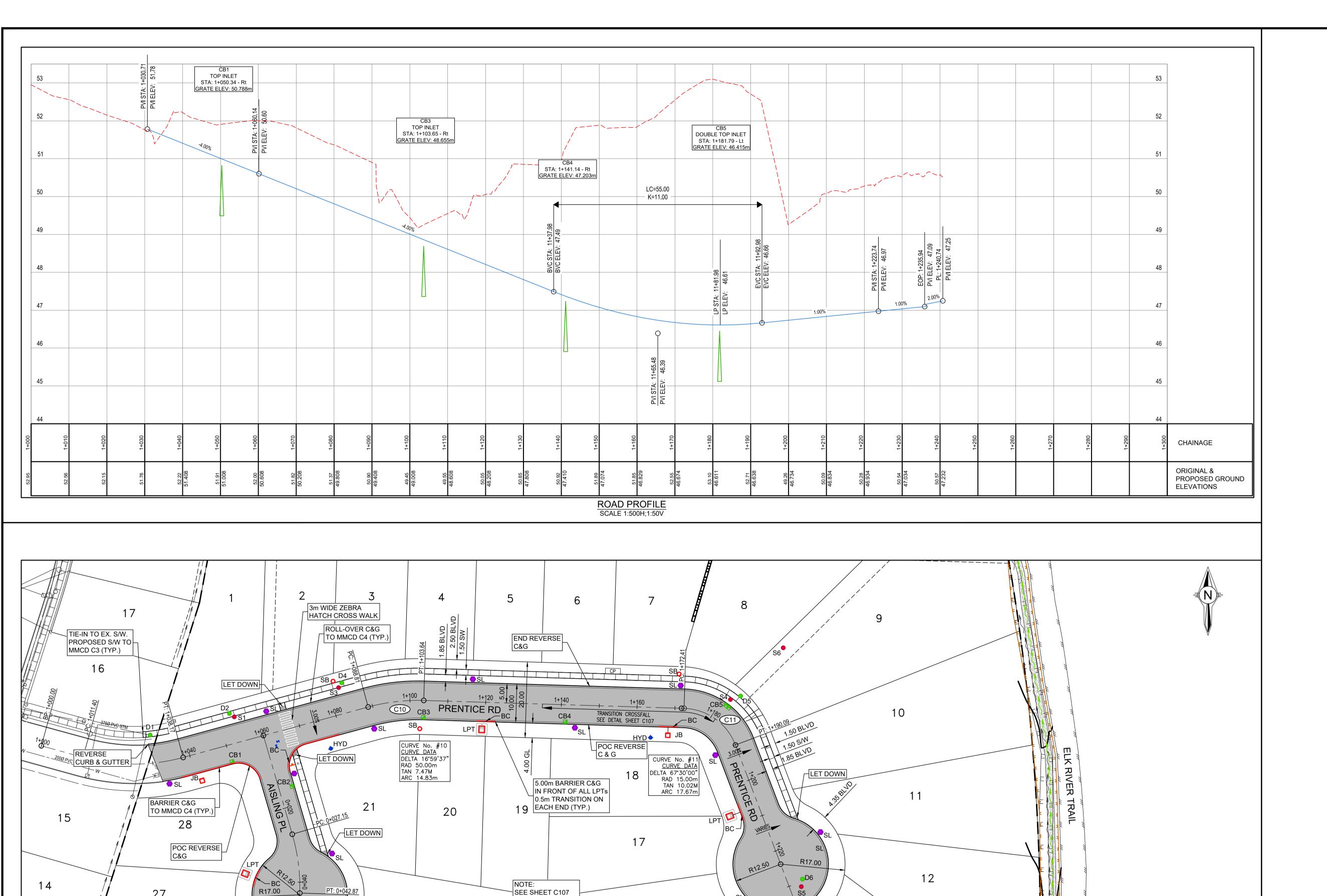
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SEE SHEET C107 FOR CURB RETURN AND BULB DETAILS

**ROAD PLAN** 

1196 Dogwood Street

Campbell River BC

Canada V9W 3A2

T 250 287 7799

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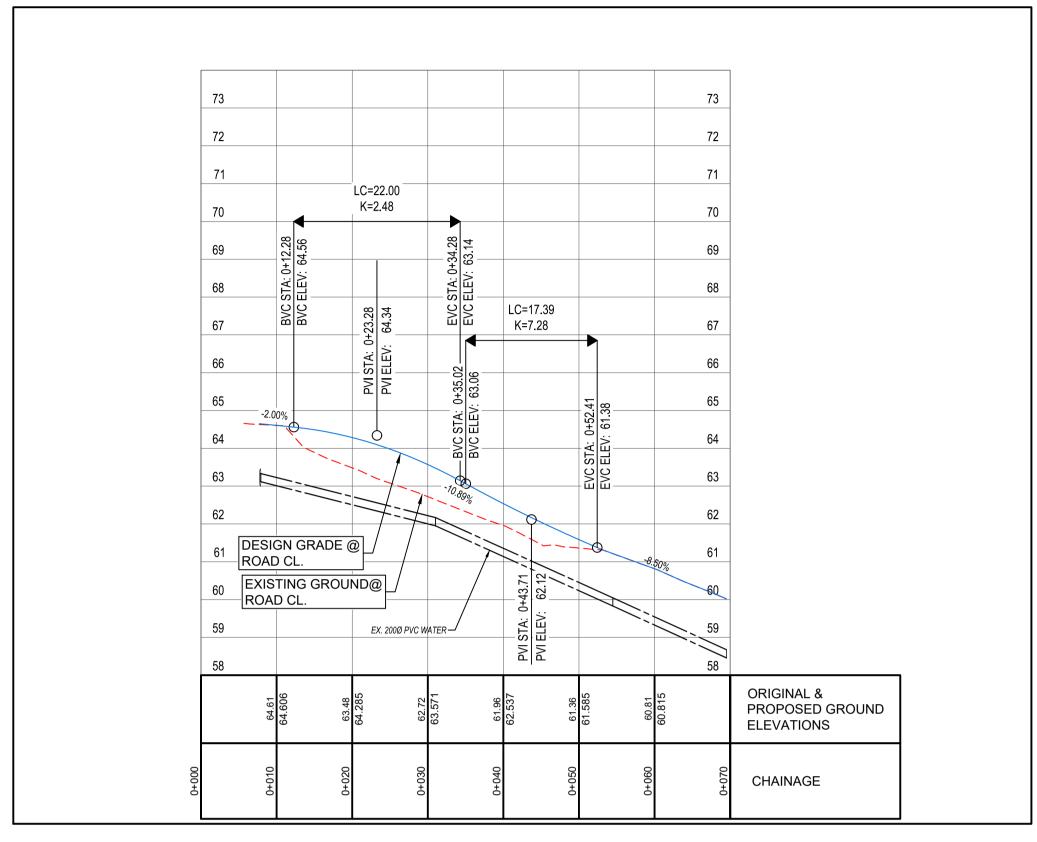
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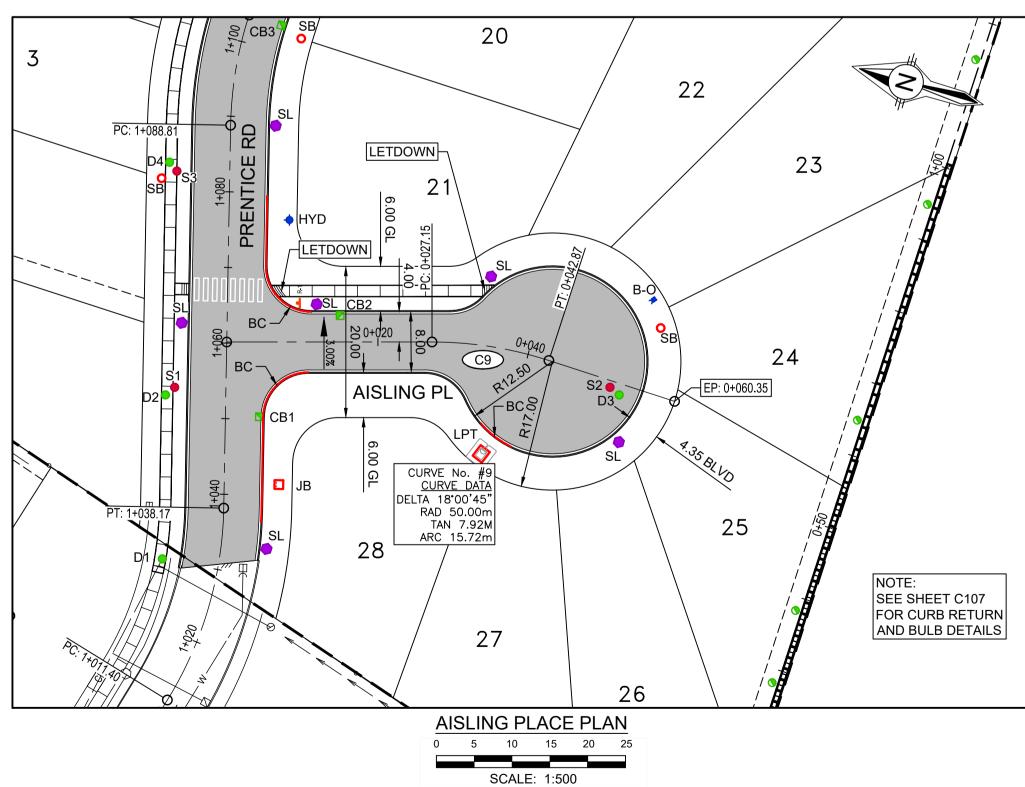
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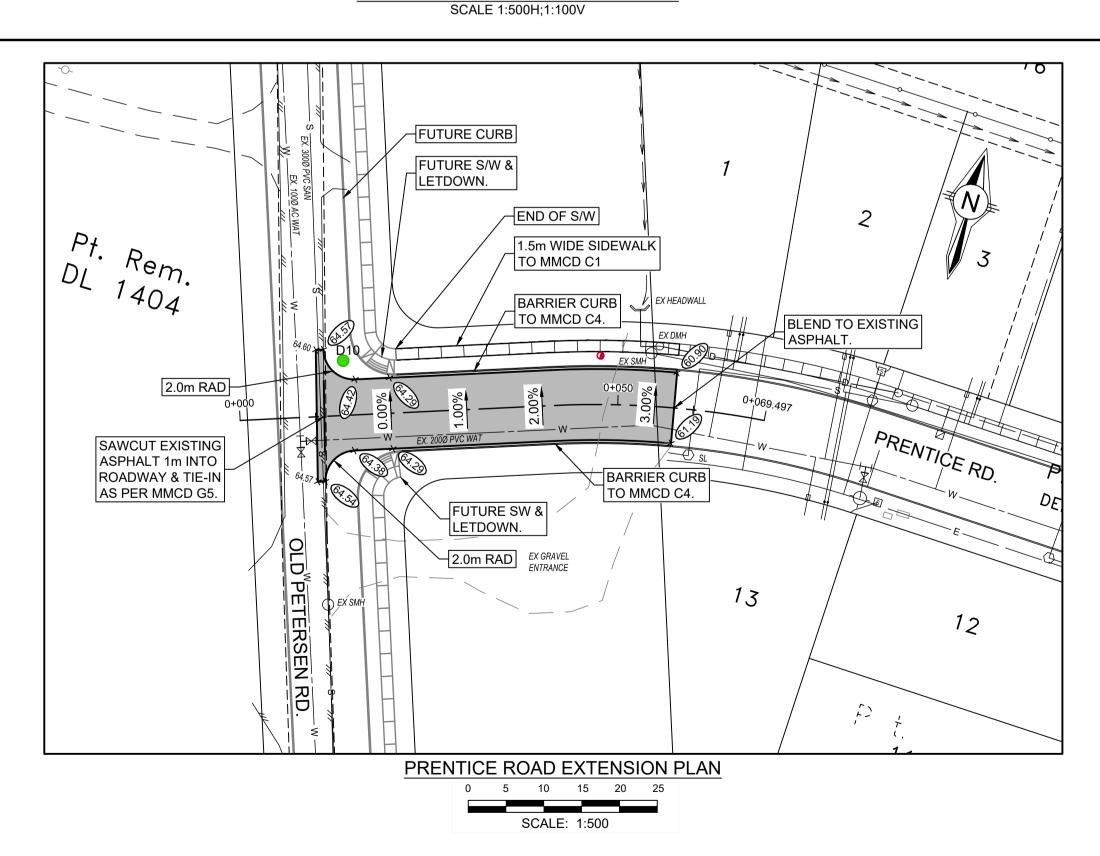
ROADWORKS PLAN & PROFILE PRENTICE ROAD DISCOVERY RIDGE - PHASE 4 CAMPBELL RIVER, BC

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PRENTICE RD EXTENSION PROFILE





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## McElhanney

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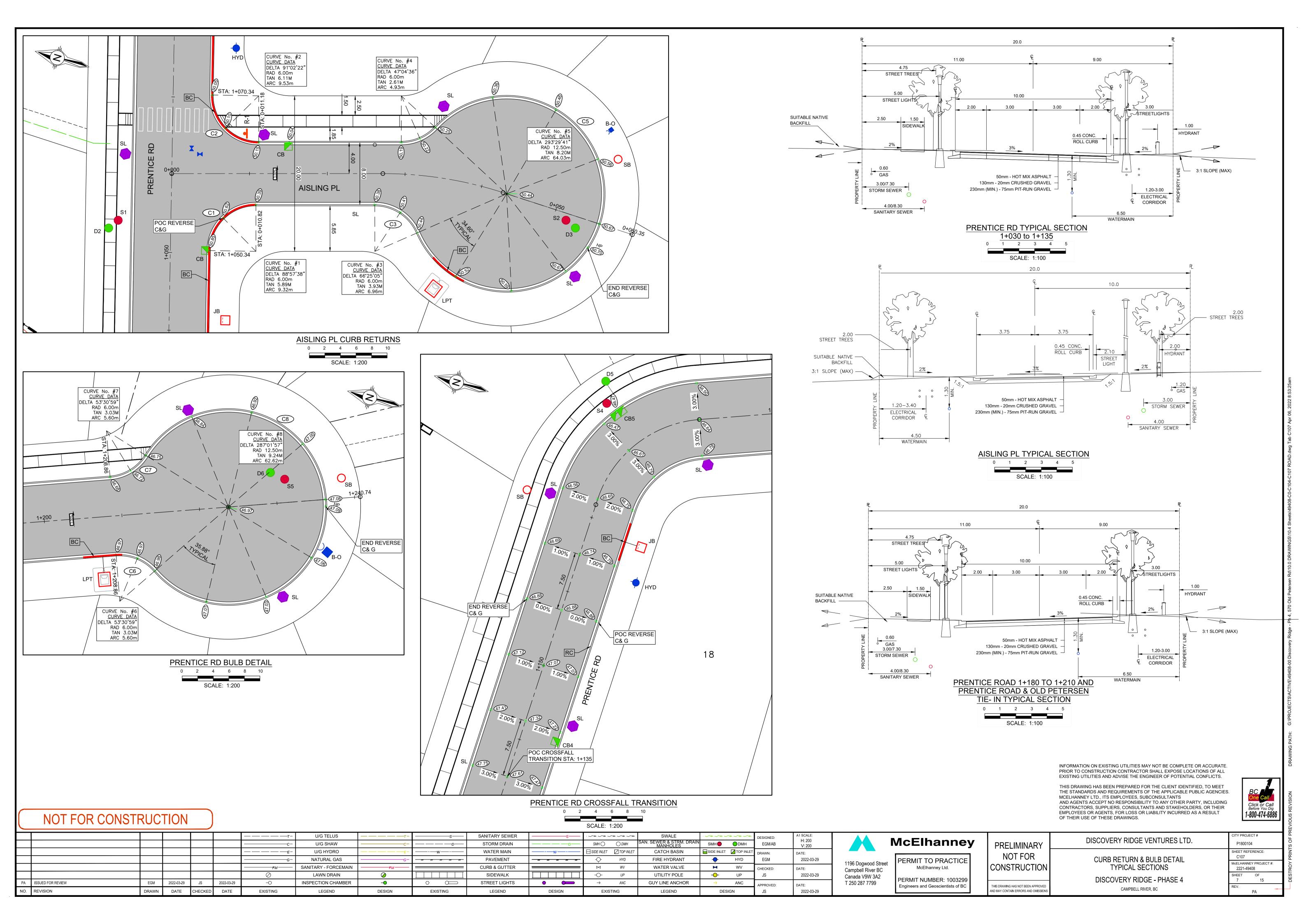
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DISCOVERY RIDGE VENTURES LTD.

ROADWORKS PLAN & PROFILE AISLING PLACE & PRENTICE RD CONNECTION DISCOVERY RIDGE - PHASE 4

CAMPBELL RIVER, BC

P1800104 SHEET REFERENCE: C106 McELHANNEY PROJECT #: 2221-49408 SHEET OF 6 15



#### c/w THRUST BLOCK & JOINT RESTRAINTS. 150Ø PVC DR18 100Ø PVC DR18 1-150HxFxF TEE c/w THRUST BLOCK 1-150Fx100H REDUCER 1-150FxH GV c/w THRUST BLOCK 1-HYDRANT ASSEMBLY 1-150FxH GV TO MMCD W4 1-HYDRANT ASSEMBLY FLANGE EL: 47.07 TO MMCD W4 FLANGE EL: 50.02 WATER METER BOX AND REMOVE EX. B-O AND TIE TO NEPTUNE T-10 WATER METER c/w EX. 200Ø PVC WAT R900i eCODER REMOTE READER AS PER c/w BLUE BRUTE CCR STD W2a/W2e c/w INSULATION UNDER COUPLER. LID. & TRACER WIRE (TYP.) 15 17 BIOLOGICAL & PRESSURE TESTING OF NEW WATER MAIN REQUIRED PRIOR TO TIE-IN. NOTE: 14 SEE SHEET C107 FOR CURB RETURN -100HxH 45° BEND AND BULB DETAILS 22 c/w THRUST BLOCK & JOINT RESTRAINTS. BLOW-OFF TO 13 MMCD W8 (TYP.) PRENTICE ROAD PLAN

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DISCOVERY RIDGE VENTURES LTD.

WATER WORKS PLAN & PROFILE

CAMPBELL RIVER, BC

EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.



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## **McElhanney**

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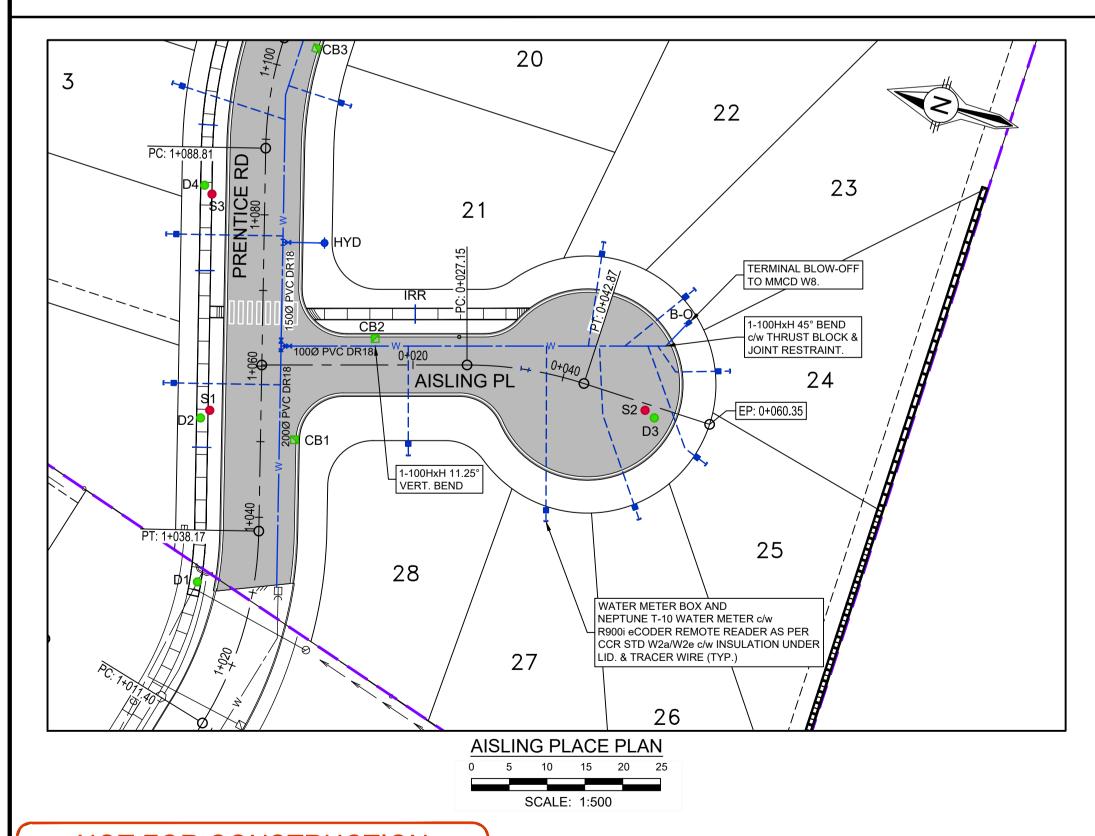
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PRENTICE ROAD **DISCOVERY RIDGE - PHASE 4** 

P1800104 SHEET REFERENCE: C108 McELHANNEY PROJECT #: 2221-49408 8 15



INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

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1196 Dogwood Street

Campbell River BC

Canada V9W 3A2

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## McElhanney

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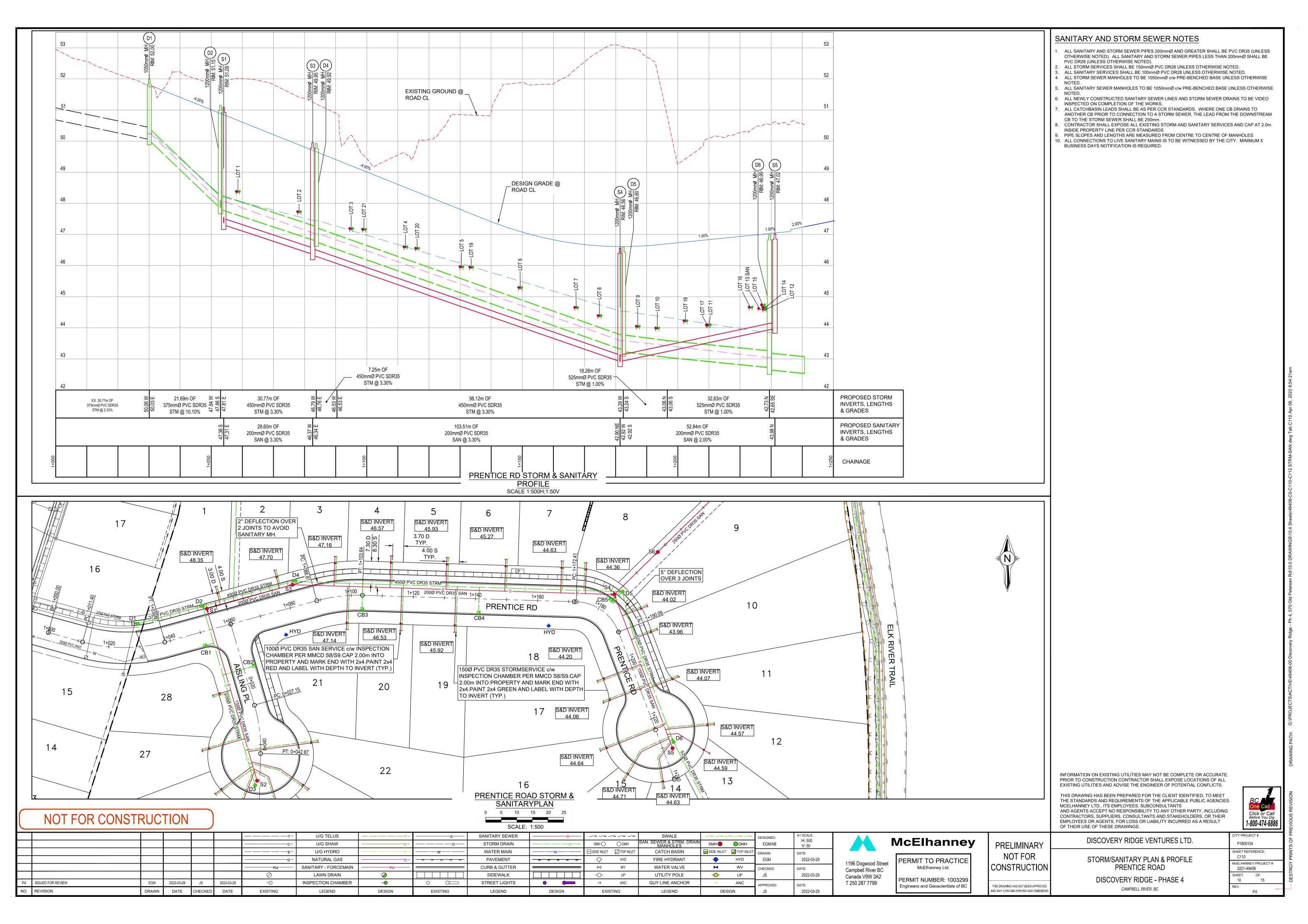
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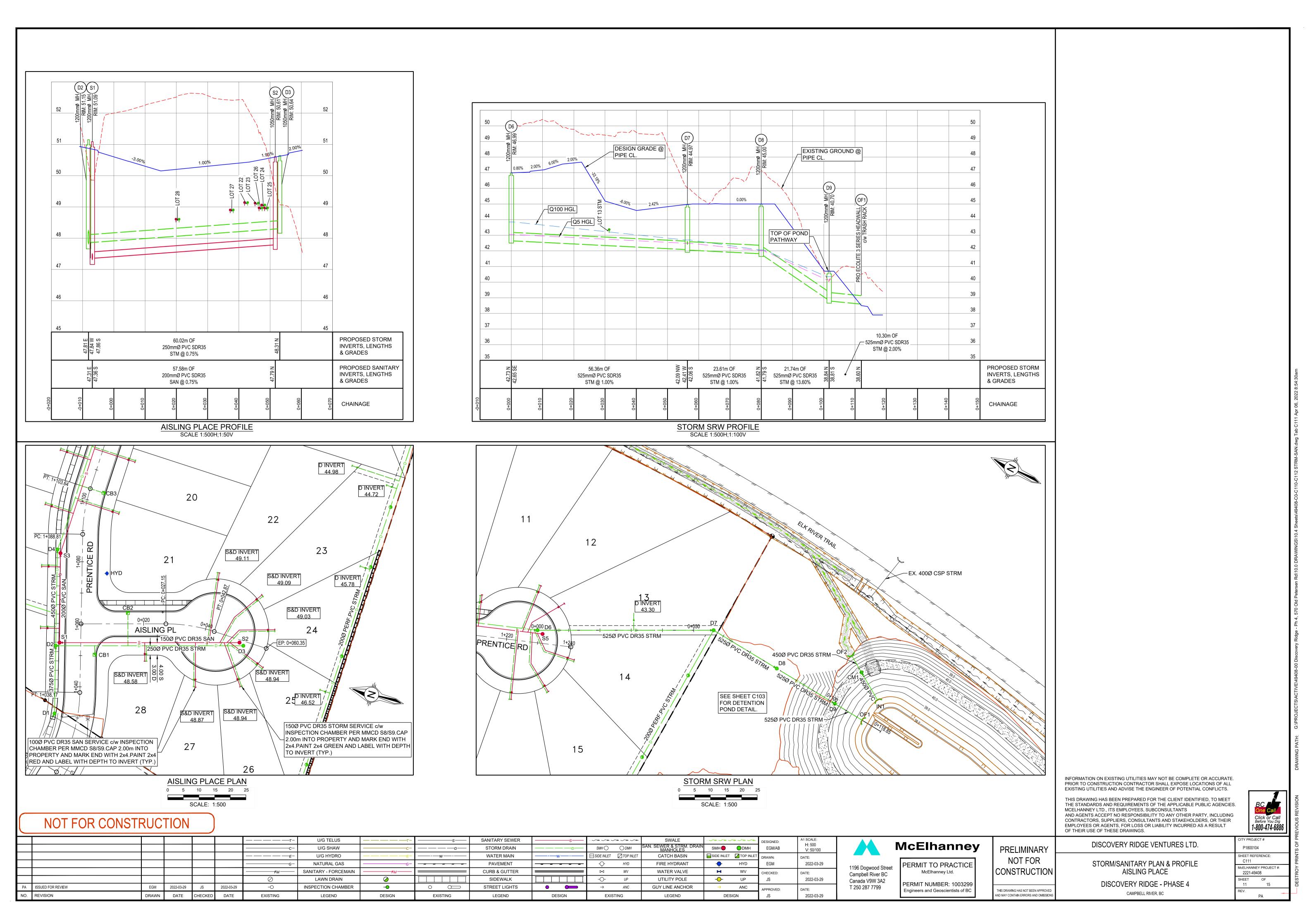
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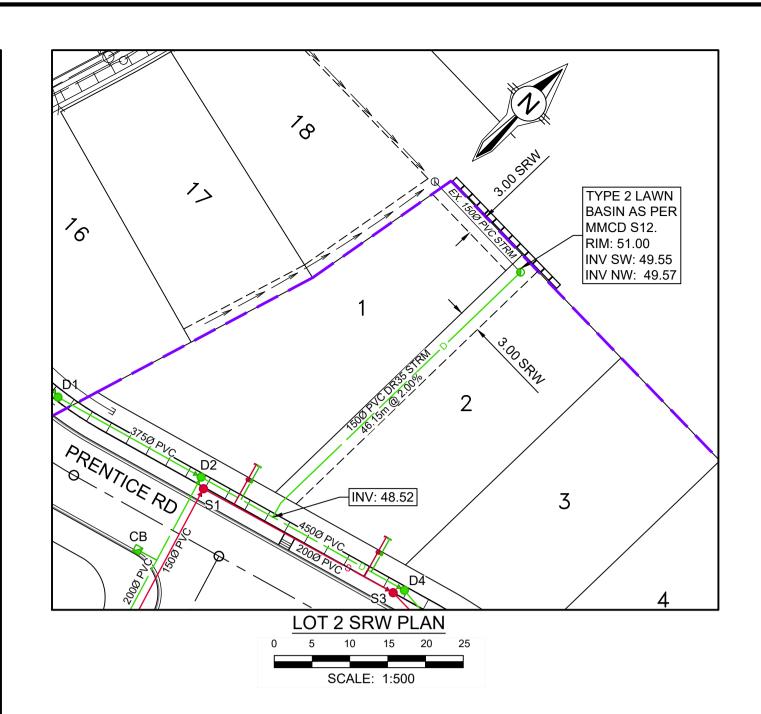
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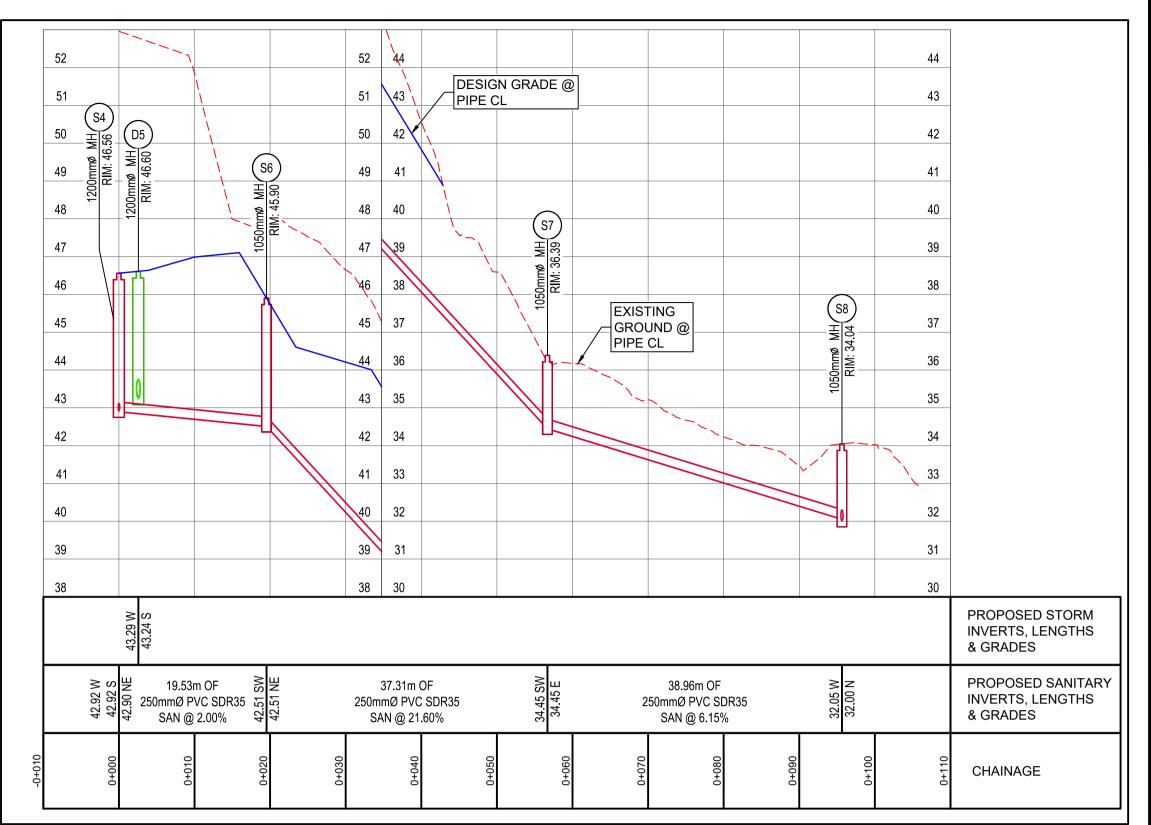
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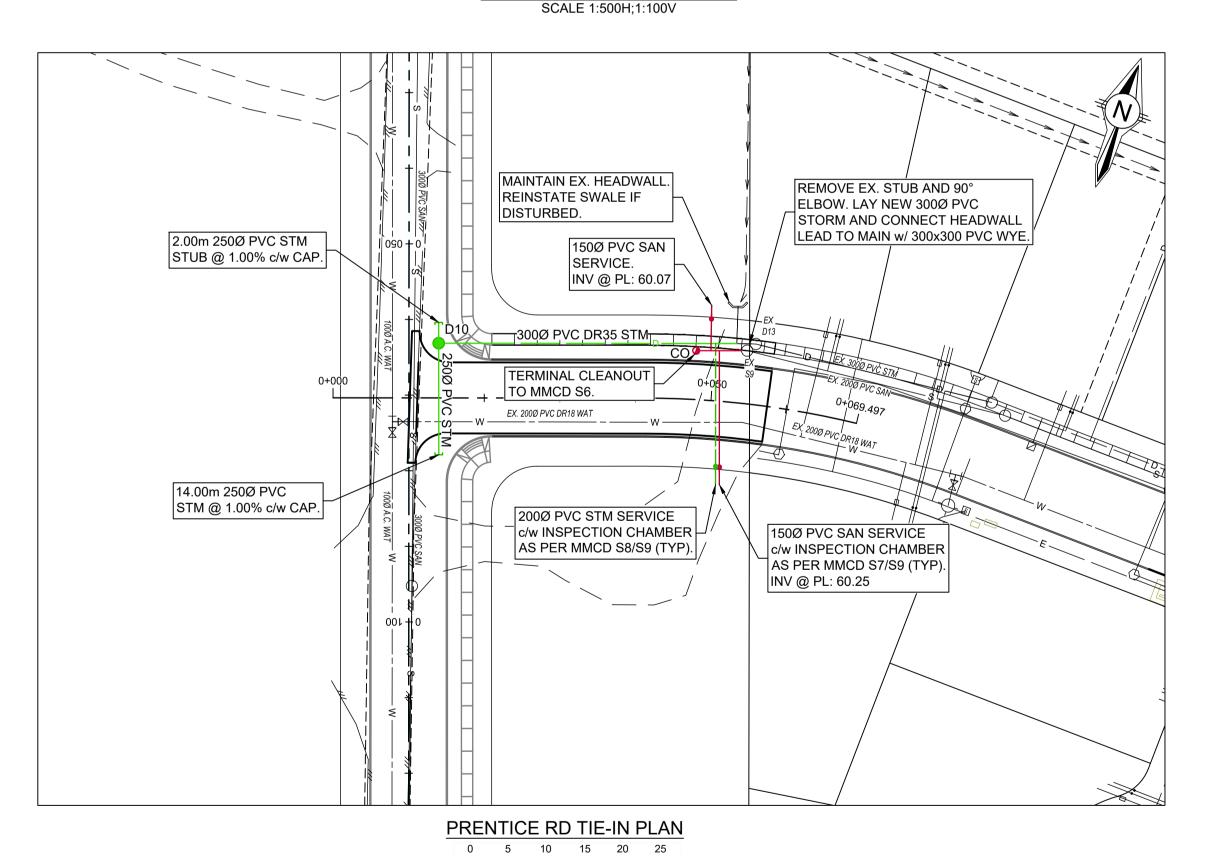




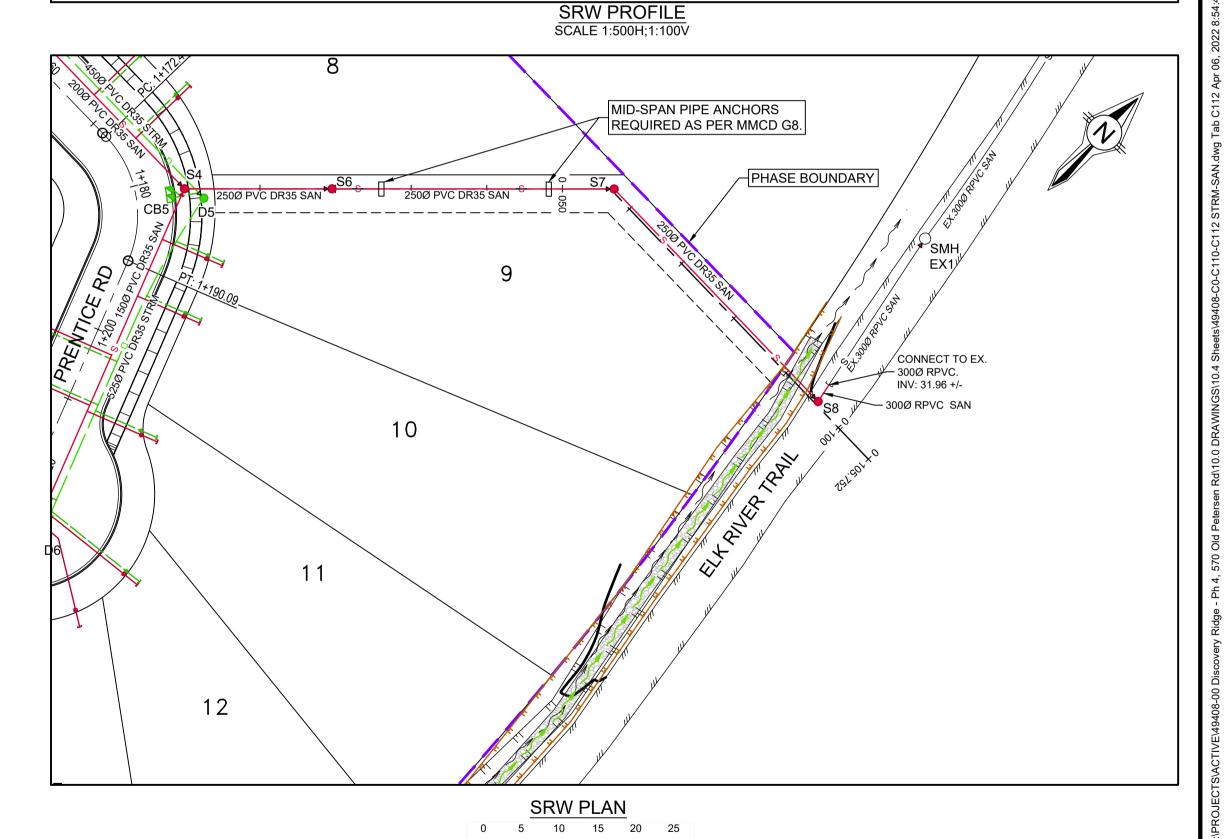








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## McElhanney

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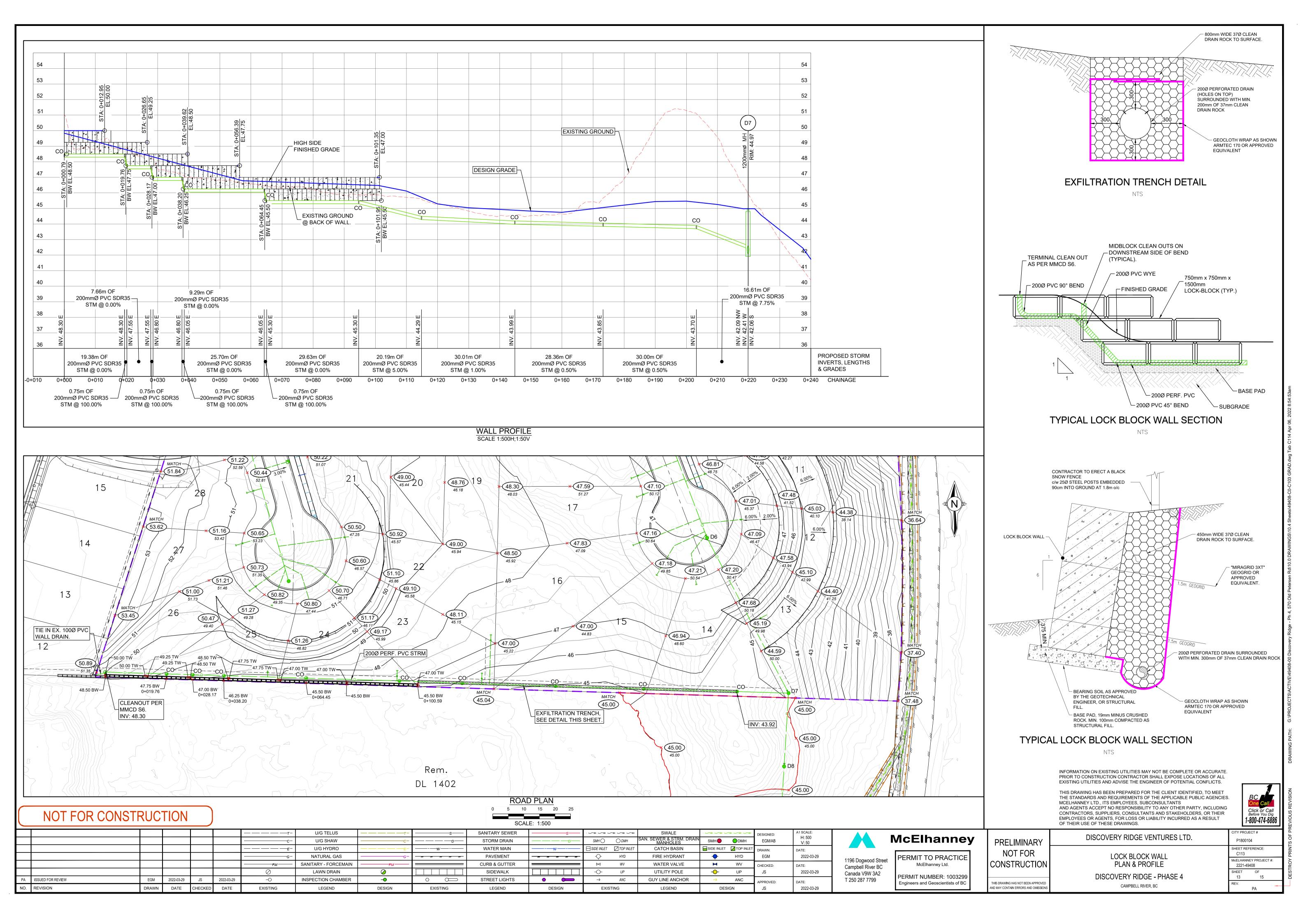
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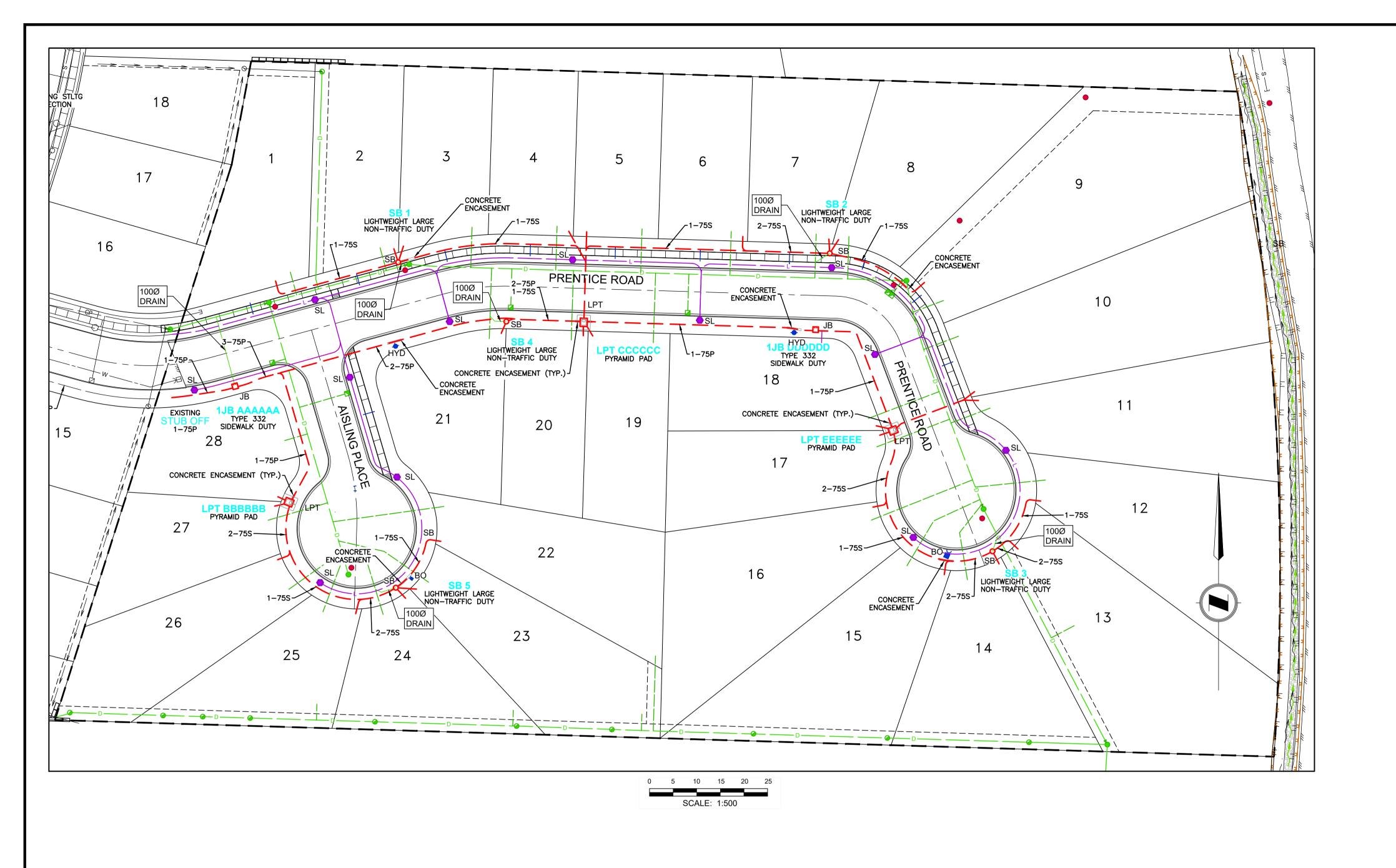
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DISCOVERY RIDGE VENTURES LTD.
STORM/SANITARY PLAN & PROFILE SRW & PRENTICE RD TIE-IN

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DISCOVERY RIDGE - PHASE 4	SHEET 12	OF 15	
CAMPBELL RIVER, BC	REV.	PA	-







CONTRACTOR TO SUPPLY AND INSTALL 100mm DRAINS FROM SERVICE BOXES AND JUNCTION BOXES TO STORM SEWER SYSTEM AT LOCATIONS SHOWN ON THIS DRAWING. DEDICATED DRAINS ARE TO CONNECT DIRECTLY TO THE STORM SEWER

IF IT IS DETERMINED BY INSPECTORS IN THE FIELD THAT THE WATER TABLE IS HIGH OR WATER IS OTHERWISE ENTERING THE HYDRO SYSTEM, THEN HYDRO MAY REQUIRE ADDITIONAL DRAINS TO BE TIED TO THE STORM SYSTEM.

BARRIER CURB REQUIRED BY HYDRO ADJACENT TO LPT'S AND SERVICE BOXES (5.0m ON CENTRE - 2.5m BARRIER CURB ON EACH SIDE). CONFIRM WITH HYDRO AT PRE-CONSTRUCTION MEETING.

## STREETLIGHTING NOTES

- 1. ALL MATERIALS TO BE NEW AND C.S.A. APPROVED, AND IN ACCORDANCE WITH CURRENT CITY
- OF CAMPBELL RIVER SPECIFICATIONS. 2. ALL WORK IN ACCORDANCE WITH B.C. VERSION OF CANADIAN ELECTRICAL CODE. PERMITS AND
- INSPECTION ARRANGED BY CONTRACTOR, SUBMIT COPIES TO CITY OF CAMPBELL RIVER. 3. FOR EXACT LOCATION OF SERVICE BOX AND SYSTEM CONNECTION REFER TO B.C. HYDRO
- 4. ALL UNDERGROUND CONDUITS 32mm RIGID PVC UNLESS OTHERWISE NOTED.
- 5. CONDUCTORS RW 90 COPPER, COLOUR CODED. WIRES SIZED SO THAT MAX. VOLTAGE DROP FROM HYDRO TO LUMINARE IS 5%.

HOWEVER, MINIMUM WIRE SIZE IS: - GROUND RUNS - LUMINARE SUPPLY No12

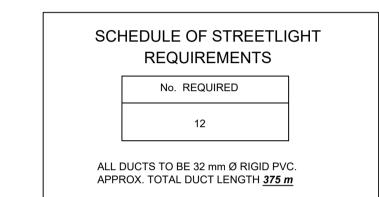
- CONTROL CIRCUIT No14 6. GROUND RODS - 20mm x 3.00m LONG.
- CONDUITS Min. 600mm BELOW GRADE. BEDDED IN SAND 75mm ABOVE AND 75mm BELOW, AND IDENTIFIED WITH WARNING TAPE.
- 8. POLES TO BE DETERMINED BY CITY
- 9. ORNAMENTAL LUMINARES TO BE DETERMINED BY CITY 10. SERVICE EQUIPMENT - 20 AMP, 2 POLE CIRCUIT BREAKER, SIZE 2 CONTRACTOR H-O-A SELECTOR SWITCH, MOUNTED IN CEMA 3 ENCLOSURE, INSTALLED IN GALVANIZED STEEL

(W. COAST ELECTRIC.# MSTL 3301)

DESIGN NOTE:
THIS DRAWING PREPARED BY MCELHANNEY WITHOUT BENEFIT OF DESIGN BY AN ELECTRICAL ENGINEER. IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK THE DESIGN, TO ENSURE THAT THE WORK IS SAFE, AND THAT THE DESIGN MEETS THE CODE AND OPERATES PROPERLY.

REFER TO TYPICAL SECTIONS ON SHEET C107 FOR STREETLIGHT CONDUIT OFFSET DIMENSIONS.

PRIOR TO CONNECTION TO CITY OF CAMPBELL RIVER ELECTRICAL SYSTEMS, 48 HOURS NOTICE MUST BE PROVIDED TO THE PUBLIC WORKS DIVISION.



HYDRO "RED-LINE" DRAWING PENDING

TELUS "RED-LINE DRAWING PENDING

CABLE "RED-LINE" DRAWING PENDING

FORTIS BC "RED-LINE" DRAWING PENDING

THIS DRAWING FOR INFORMATION ONLY. CONTRACTOR TO OBTAIN FINAL UTILITY DRAWINGS DIRECTLY FROM UTILITY COMPANIES PRIOR TO CONSTRUCTION.

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DISCOVERY RIDGE VENTURES LTD. STREET LIGHTING & 3RD PARTY UTILITIES

> DISCOVERY RIDGE - PHASE 4 CAMPBELL RIVER, BC

P1800104 SHEET REFERENCE: C114 McELHANNEY PROJECT #: 2221-49408 SHEET OF 15

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ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE CITY OF CAMPBELL RIVER STANDARDS UNDER BYLAW 3419, 2010, SUBDIVISION AND DEVELOPING SERVICING BYLAW, SECTION 5, EROSION AND SEDIMENT CONTROL. ALL WORKS ARE SUBJECT TO THE CITY OF CAMPBELL RIVERS ENVIRONMENTAL PROTECTION BYLAW.

. DEVELOPER (THROUGH THEIR CIVIL CONTRACTOR) SHALL BE RESPONSIBLE TO PROVIDE SITE EROSION AND SEDIMENT CONTROL (ESC) AS NECESSARY TO PREVENT THE RELEASE OF SEDIMENT OR SEDIMENT LADEN WATERS FROM ENTERING THE CITY DRAINAGE SYSTEMS DURING CLEARING AND GRUBBING. AND CIVIL CONSTRUCTION STAGES OF THE SUBDIVISION. EROSION AND SEDIMENT CONTROL DURING THE SUBSEQUENT PROJECT'S MAINTENANCE PERIOD STAGE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER (THROUGH THEIR CIVIL OR

1.3. THE ESC MONITOR TO BE RESPONSIBLE FOR THE INSPECTION AND DIRECTION OF REQUIRED MAINTENANCE OF THE IMPLEMENTED MEASURES TO BE MAINSTREAM BIOLOGICAL CONSULTING INC.

1.4 THE ENVIRONMENTAL MONITOR SHALL INSPECT AND MONITOR THE SITE AT INTERVALS AS PER CITY OF CAMPBEL RIVER STANDARD 5.6. SHOULD THE ESC MONITOR WISH TO MODIFY THE FREQUENCY OF SITE INSPECTIONS BASED ON PREVAILING WEATHER CONDITIONS, LEVEL OF CONSTRUCTION ACTIVITY, OR SITE PERFORMANCE, THEY WILL BE RESPONSIBLE TO RECEIVE WRITTEN AUTHORIZATION FROM THE CITY OF CAMPBELL RIVER. THESE INSPECTIONS SHALL BE ACCOMPANIED BY WRITTEN NOTES THAT WILL BE AVAILABLE TO THE CITY UPON

1.5. THE ENVIRONMENTAL MONITOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:

1.5.1. VISUALLY MONITOR ANY RECEIVING WATERS, INCLUDING WATERCOURSES, DITCHES, SWALES OR BODIES OF WATER UP TO 50 METRES OUTSIDE OF THE CONSTRUCTION AREA; 1,5,2, SAMPLING AND ANALYSES OF WATER BEING DISCHARGED, AS PER CITY STANDARDS TURBIDITY LIMITS ARE: DURING DRY CONDITIONS

100 NTUs DURING WET CONDITIONS IF THERE IS AN EXCEEDANCE OF ALLOWABLE TURBIDITY LEVELS, CORRECTIVE MEASURES ARE TO BE

1.6. THE ENVIRONMENTAL MONITOR SHALL COORDINATE THEIR SITE VISITS WITH THE DEVELOPER'S CONTRACTOR AND THE ENGINEER OF RECORD'S FIELD INSPECTOR AND SHALL PROVIDE INSTRUCTIONS TO RECTIFY CURRENT OR ANTICIPATED DEFICIENCIES THAT MAY RESULT IN NON-CONFORMANCE WITH THE ESC PLAN OR THE

ENVIRONMENTAL PROTECTION BYLAW. .7. THE EROSION AND SEDIMENT CONTROL (ESC) PLANS ARE DEEMED TO BE A MINIMUM LEVEL OF CONTROL FOR THIS

1,8. THE DEVELOPER'S CIVIL CONTRACTOR IS TO ENSURE THAT APPROPRIATE ESC MEASURES ARE IN PLACE. PROPERLY MAINTAINED, AND OPERATIONAL ALSO ON WEEKENDS, HOLIDAYS, AFTER CONSTRUCTION ACTIVITIES, AND UNTIL THE DATE OF ISSUANCE OF THE CERTIFICATE OF MAINTENANCE BY THE CITY (I.E. PLACEMENT OF THE

1.9. ALL SURFACE RUN-OFF DURING CONSTRUCTION IS TO BE DIRECTED TO INTERCEPTOR DITCH/SWALES SHOWN ON THE ESC PLAN (OR IN ADDITION TO IT).

1.10. A WATERPROOF COPY OF THIS ESC PLAN MUST BE AVAILABLE ON SITE DURING THE DURATION OF THE CONSTRUCTION PROJECT. THE ESC CONTACT INFORMATION SHALL BE CLEARLY NOTED ON THE POSTED ESC PLAN WITH A CLEAR NOTE TO 'CALL ESC MONITOR IF YOU SEE BROWN OR 'DIRTY' WATER LEAVING THE SITE.

MAINTENANCE FOR ALL STAGES OF CONSTRUCTION (AS APPLICABLE)

ADDED AS NECESSARY 2.2. ALL CATCH BASIN FILTERS ARE TO BE INSPECTED & CLEARED OF DEBRIS WEEKLY OR FOLLOWING STORM EVENTS.

2.3. SWEEPING OF EXISTING OFFSITE ACCESS ROADS IS REQUIRED WHEN HAULING MATERIALS FROM THE SITE, AT THE FREQUENCY DETERMINED BY THE ESC MONITOR WHICH SHALL BE DEPENDENT ON WEATHER CONDITIONS AND AT A MINIMUM OF ONCE PER DAY 2.4. CONTRACTOR AND BUILDERS MUST SWEEP AND CLEAN PAVED ON-SITE ROAD SURFACES OF ACCUMULATED

SHALL BE DEPOSITED OR PILED OUTSIDE THE PROPERTY BOUNDARIES, PARTICULARLY ON PAVED ROAD SURFACES. FLUSHING OF ROADWAYS IS PROHIBITED. 2.5. SILT FENCES AND BARRIERS TO BE INSPECTED AND REPAIRED AT REGULAR INTERVALS THROUGHOUT THE WEEK

2.6. ALL SEDIMENT REMOVED FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS TO NOT COMPOUND OR COMPROMISE THE SEDIMENT LOADING OF OTHER CONTROL MEASURES.

STAGE 1 - CIVIL CONSTRUCTION

THE DEVELOPER WILL BE RESPONSIBLE TO PROVIDE A COPY OF THE ESC PLAN TO THE CIVIL CONTRACTOR.

ALL ACCESS TO AND FROM SITE TO BE RESTRICTED TO SPECIFIED ENTRY-EXIT POINTS. ALL ONSITE STOCK PILES TO BE FULLY COVERED WITH 5 MIL POLYETHYLENE ADEQUATELY WEIGHTED DOWN WITH SILT FENCE SURROUND AT TOE OF SLOPE (UNLESS OTHERWISE APPROVED BY THE ESC MONITOR). UPON PROGRESSION OF ROUGH LOT GRADING. ALL DISTURBED AREAS TO BE PROTECTED WITH AN APPROPRIATE

EROSION CONTROL BMP OR AS DETERMINED IN THE FIELD BY THE ESC MONITOR. THE CONTRACTOR TO COORDINATE THE ELIMINATION OF TEMPORARY ESC OPERATIONS WITH THE ESC MONITOR.

ADDITIONAL PROTECTIVE MEASURES MAY NEED TO BE INSTALLED AT THE DIRECTION OF THE ESC MONITOR. THE CONTRACTOR SHALL INSTALL SITE ACCESS PAD, PERIMETER SILT FENCING, AND PROTECTIVE MEASURES FOR

ANY EXISTING CATCH/LAWN BASINS PRIOR TO COMMENCEMENT OF ANY CLEARING OR GRUBBING WORK.

3.10 ONLY ONE ACCESS POINT TO THE SITE SHALL BE PERMITTED UNLESS APPROVED BY THE ESC SUPERVISOR AND ENGINEER OF RECORD. ALL EFFORTS SHALL BE MADE TO MINIMIZE THE AMOUNT OF SOILS FROM THE SITE DEPOSITED ONTO THE ACCESS ROADS.

4.0 STAGE 2-FINAL GRADING TO SUBSTANTIAL COMPLETION

THE CIVIL CONTRACTOR SHALL ENSURE THAT ESC FACILITIES AS SPECIFIED IN THE ESC PLAN AND ANY ADDENDUMS ARE PROPERLY FUNCTIONING AND THAT PROPER MAINTENANCE OF ESC FACILITIES IS ONGOING AS

SPECIFIED IN SECTION 2 (MAINTENANCE). 4.2 UPON COMPLETION OF LOT GRADING, DISTURBED GROUND SURFACE OUTSIDE ROAD DEDICATION AREAS SHALL BE

HYDRO-SEEDED AT A RATE OF 80 KILOGRAMS PER HECTARE. 4.3 CONTRACTOR TO COORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES THAT ARE NO LONGER REQUIRED

WITH THE ESC MONITOR, ADDITIONAL PROTECTIVE MEASURES MAY NEED TO BE INSTALLED AT THE DIRECTION OF

INSPECT AND SIGN OFF ON ESC MEASURES. 4.5 DEVELOPER SHALL ENSURE THAT THE LOT OWNER AND/OR HOUSE BUILDER ARE NOTIFIED OF EXISTING ESC

FACILITIES AND THEIR RESPONSIBILITY TO ENSURE THAT INDIVIDUAL LOT SEDIMENT CONTROL MEASURES ARE IMPLEMENTED AND PERFORM TO THE STANDARD OF THE ESC PLAN. A COPY OF THIS CORRESPONDENCE TO BE PROVIDED TO THE THE CITY.

4.6 BUILDER AND INDIVIDUAL LOT OWNERS ARE RESPONSIBLE FOR IMPLEMENTATION OF INDIVIDUAL LOT ESC MEASURES AS DEFINED BY THEIR RESPECTIVE BUILDING PERMIT REQUIREMENTS. 4.6.1 WHERE RUNOFF FROM CERTAIN AREAS OF THE LOT CANNOT BE DIRECTED TO THE SEDIMENT TRAP VIA

4.6.2 WHERE POSSIBLE, DISCHARGE FROM FOUNDATION HOLE DEWATERING IS TO BE DIRECTED ONTO VEGETATED AREAS KEEPING ALL SAND, GRAVEL, SPOIL MATERIAL, CONCRETE MIX, ETC., OFF PAVED SURFACES.

4.7 DEVELOPER RESPONSIBLE FOR RETENTION OF ESC MONITOR UNTIL 1 YEAR MAINTENANCE PERIOD HAS EXPIRED FOR THE DEVELOPMENT, ESC MONITOR TO DETERMINE REASONABLE INTERVALS FOR MONITORING.

4.8 ALL ESC MONITOR WRITTEN NOTES FOR THE ENTIRETY OF THE PROJECT SHALL BE SUBMITTED TO THE CITY UPON FINAL COMPLETION OF THE PROJECT.

THE ENVIRONMENTAL MONITOR, HAVE REVIEWED THIS ESC PLAN.

DATE

**SIGNED** 

ENVIRONMENTAL MONITOR MUST PROVIDE SIGNED COPIES OF THIS SHEET TO THE OWNER, MCELHANNEY, AND CITY OF CAMPBELL RIVER PRIOR TO CONSTRUCTION.

OWNER TO NOTIFY CITY OF CAMPBELL RIVER OF APPOINTED ENVIRONMENTAL MONITOR 7 DAYS PRIOR TO CONSTRUCTION. SIGN TO BE POSTED AT A LOCATION VISIBLE FROM FROM OUTSIDE THE CONSTRUCTION SITE FOR THE DURATION OF THE OF THE CONSTRUCTION PROJECT.



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DISCOVERY RIDGE VENTURES LTD.

DISCOVERY RIDGE - PHASE 4

CAMPBELL RIVER, BC

SHEET REFERENCE: C115 McELHANNEY PROJECT # 2221-49408 15

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